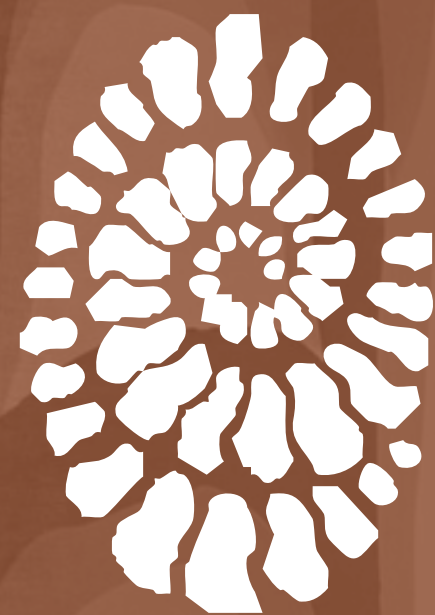


bacap
arquitectos



XELA

01

Introduction

04

XELA Residences

02

Market Research

05

XELA Cenotes

03

Localization Map

CONTENT

LOCATION.

COBÁ's RUINS

CANCUN'S INTERNATIONAL
AIRPORT



CENOTE
ROUTE

TULUM

TULUM
RUINS

HOTEL
ZONE

CARIBBEAN SEA

TULUM'S INTERNATIONAL
AIRPORT

SIAN KAAN
RESERVE



MARKET STUDY.



MARKET STUDY.

LAND

1

TORALEA



1000



160m2

\$421.88 USD/m2

BPRICE BY SQ. METER

2

LUNARA



850



660m2

\$284.11 USD/m2

BPRICE BY SQ. METER

3

XPU-HA BEACH



68



604 m2

\$349.53 USD/m2

BPRICE BY SQ. METER

4

YAL-KU



136



1,520m2

\$382.38/m2

BPRICE BY SQ. METER

5

AHAWL



85



250m2

\$304.83 USD/m2

BPRICE BY SQ. METER

6

MALLORCA



155



426m2

\$86.10 USD/m2

BPRICE BY SQ. METER

7

SENDEROS



385



302m2

\$441.50 USD/m2

BPRICE BY SQ. METER

8

AMARES



1467



620m2

\$134.56 USD/m2

BPRICE BY SQ. METER

9

EMANA



155



400m2

\$588.50 USD/m2

BPRICE BY SQ. METER

10

ALHAYA



234



1,060m2

\$97.35 USD/m2

PRICE BY SQ. METER

11

BEECHEII



95



520m2

\$300.39 USD/m2

PRICE BY SQ. METER

12

ONZE



28



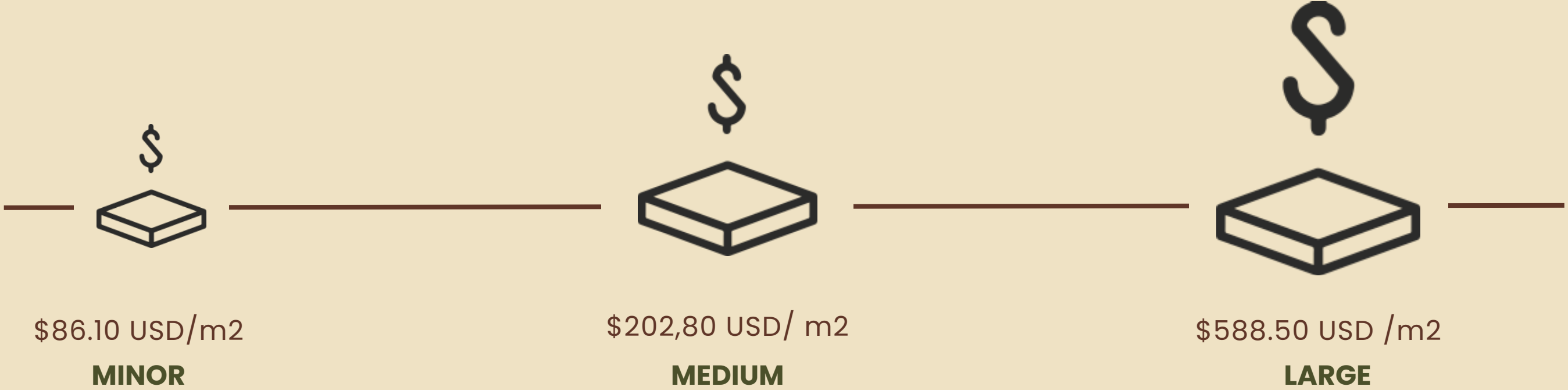
350m2

\$127.33 USD/m2

BPRICE BY SQ. METER

PRICE BY SQ. METER • MARKET STUDY

LAND



MARKET STUDY.

VALLADOLID

PLAYA DEL CARMEN

COBÁ'S RUINS

COZUMEL

COZUMEL

AKUMAL

UH-MAY

CENOTES

04

05

TULÚM'S RUINS

06

09

02

10

08

01

07

03

TULUM'S INTERNATIONAL
AIRPOT

JOSÉ MARÍA
PINO SUÁREZ

MUYIL'S RUINS

CHETUMAL-CANCÚN'S
RUINS

IAN KAAAN'S RESERVE

OCEAN

MAR CARIBE

MARKET STUDY.
HOUSING

1 Axkaba



160m2

\$570,170.00 USD

\$3,565.00

PRECIO POR M2

2 ALKR Developing



50m2

\$948,750.00 USD

\$18,975.00

PRECIO POR M2

3 Mistiq Gardens



52m2

\$199,500.00 USD

\$3,836.00

PRECIO POR M2

4 Tankah Four



75m2

\$438,900.00 USD

\$6,015.00

PRECIO POR M2

5 Antal Tankah



238m2

\$1,450,000.00 USD

\$6,100.00

PRECIO POR M2

6 Xamira Tulum



67m2

\$169,650.00 USD

\$2,530.00

PRECIO POR M2

7 Elements 326



45m2

\$157,000.00 USD

\$3,489.00

PRECIO POR M2

8 Limas Tulum



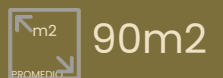
113m2

\$315,000.00 USD

\$2,788.00

PRECIO POR M2

9 Xaviera Village



90m2

\$334,600.00 USD

\$3,718.00

PRECIO POR M2

10 16 DE SEPTIEMBRE



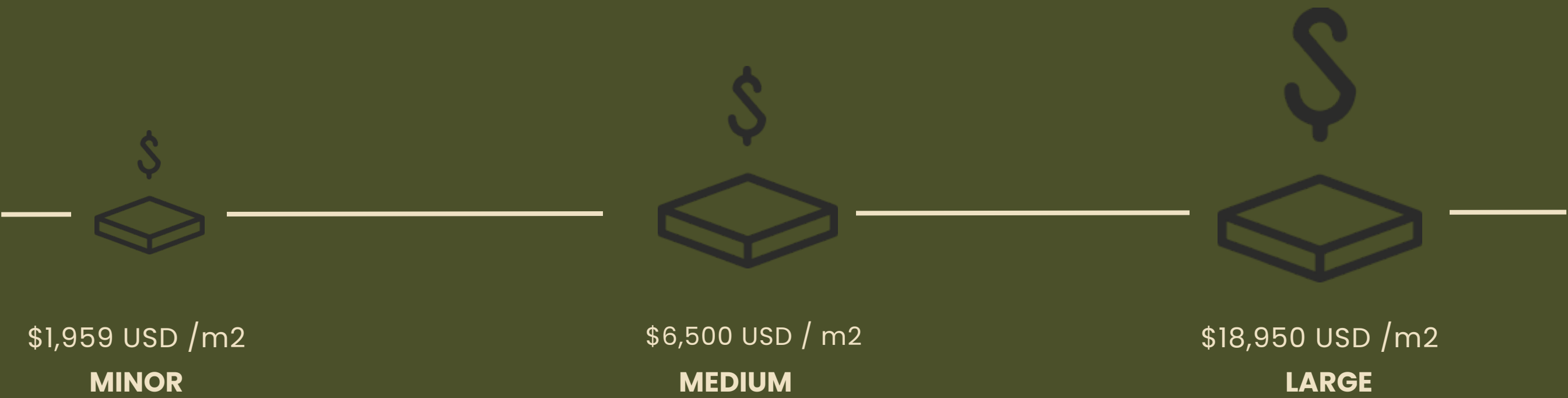
5002

\$97,500.00 USD

\$1,950.00

PRECIO POR M2

PRICE BY SQ. METER • MARKET STUDY
HOUSING



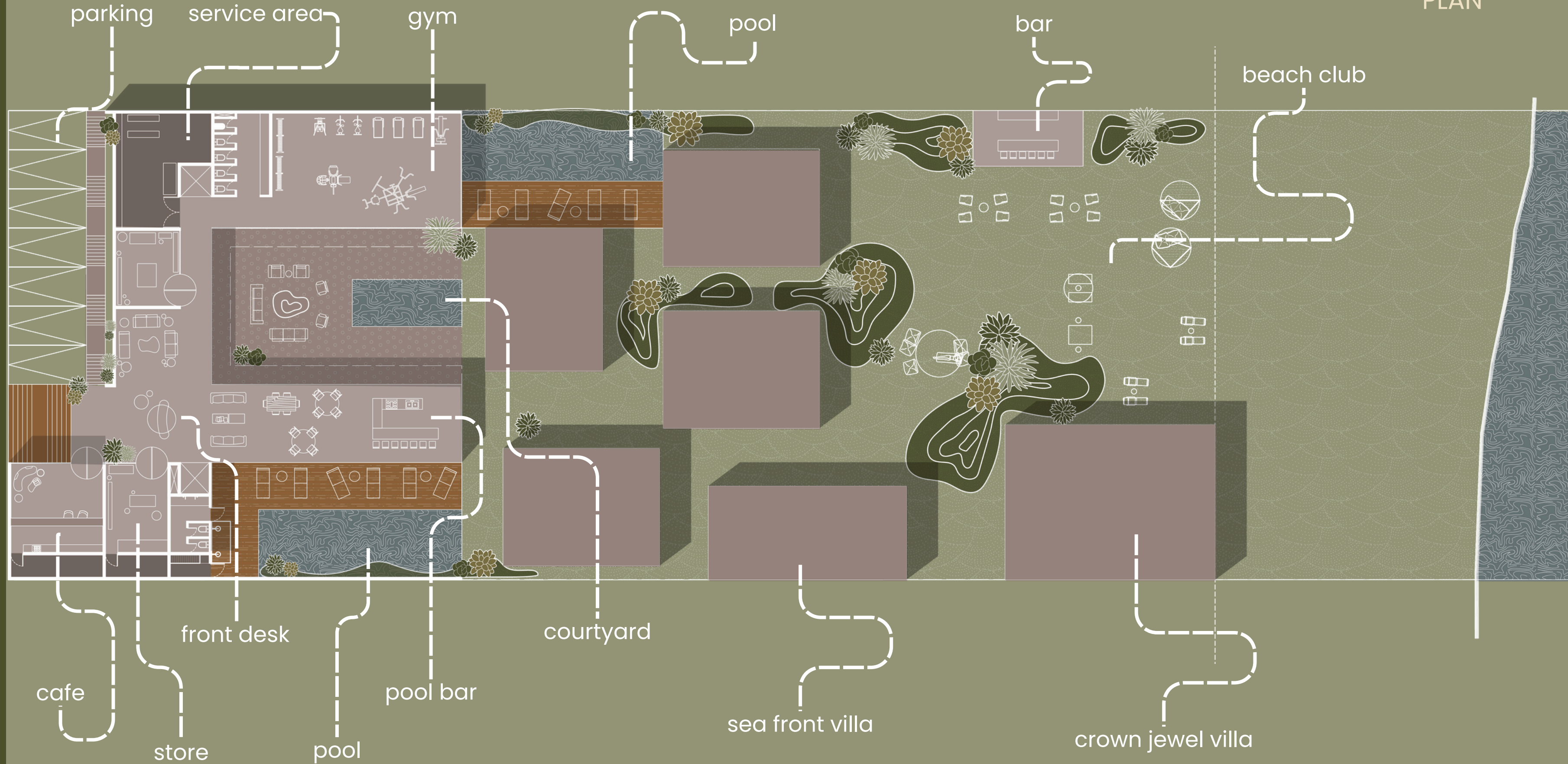
GROUND FLOOR/AMENITIES.
ARCHITECTURAL BRIEF

	Lobby	30m2
	Front Desk	35m2
	Parking	90m2
	Cafe	46m2
	Store (2)	50m2
	Restrooms	9m2
	Pool (1)	120m2
	Pool Bar	80m2

	Service areas (2)	40m2
	Gym	90m2
	Gym restrooms.....	20m2
	Pool (2)	95m2
	Bar	25m2
	Beach club	-
	Courtyard	112m2

TOTAL M2 GF = 530m2

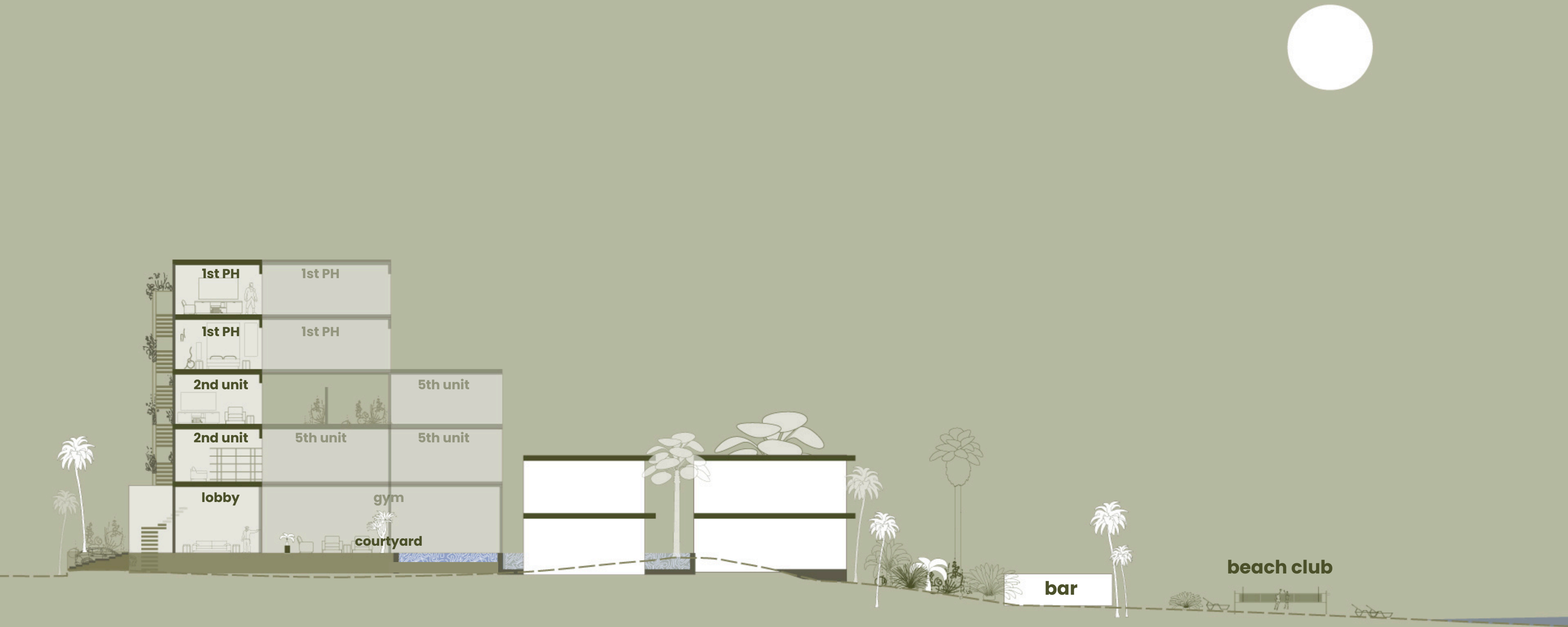
GROUND FLOOR PLAN



FACADE
ELEVATION



GENERAL SECTION



LOOK AND FEEL
Xela Residences





LOOK AND FEEL
Xela Residences





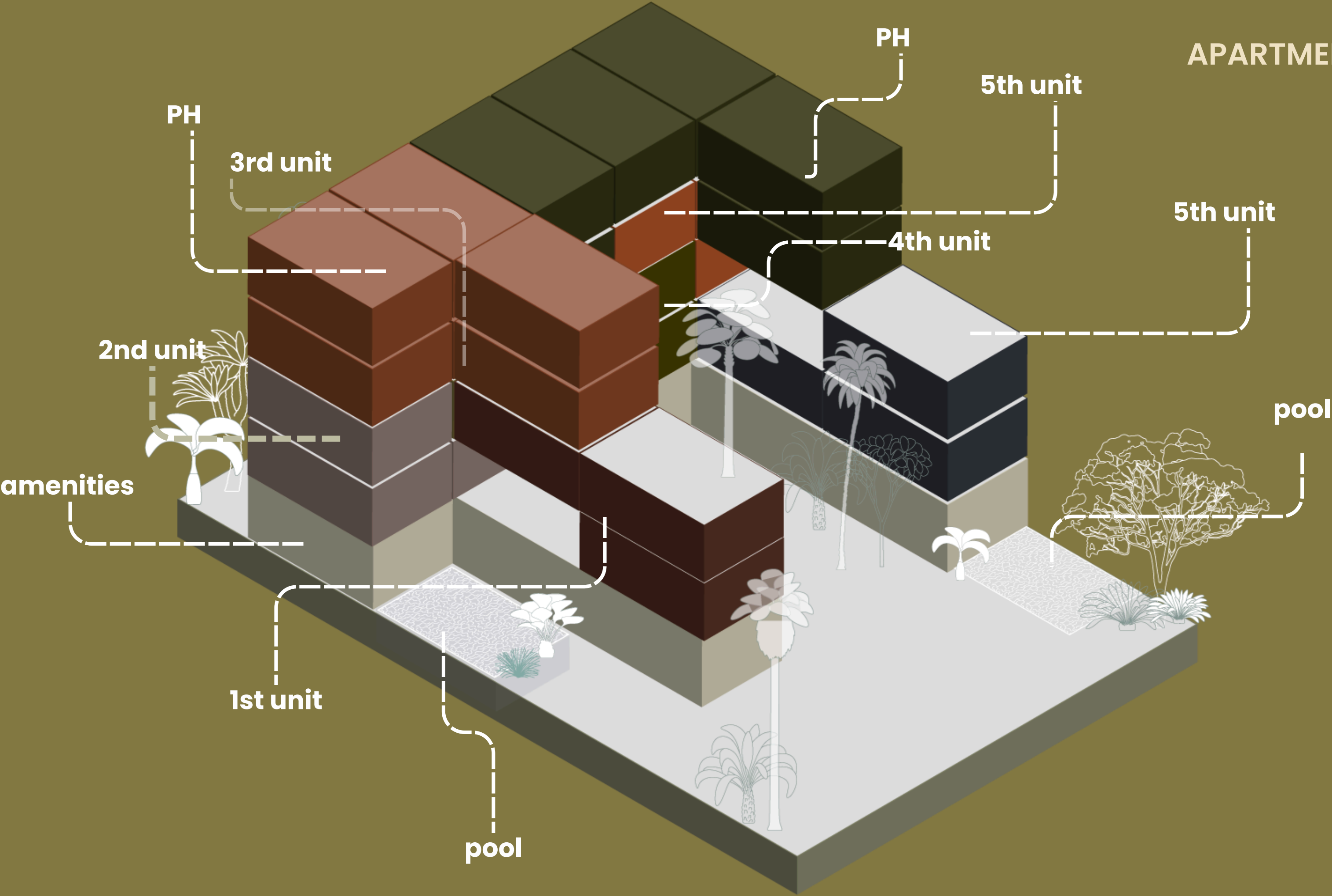
LOOK AND FEEL
Xela Residences



LOOK AND FEEL
Xela Residences

**A P A R T M E N T
B U I L D I N G**

APARTMENT PLACEMENT
ISOMETRIC

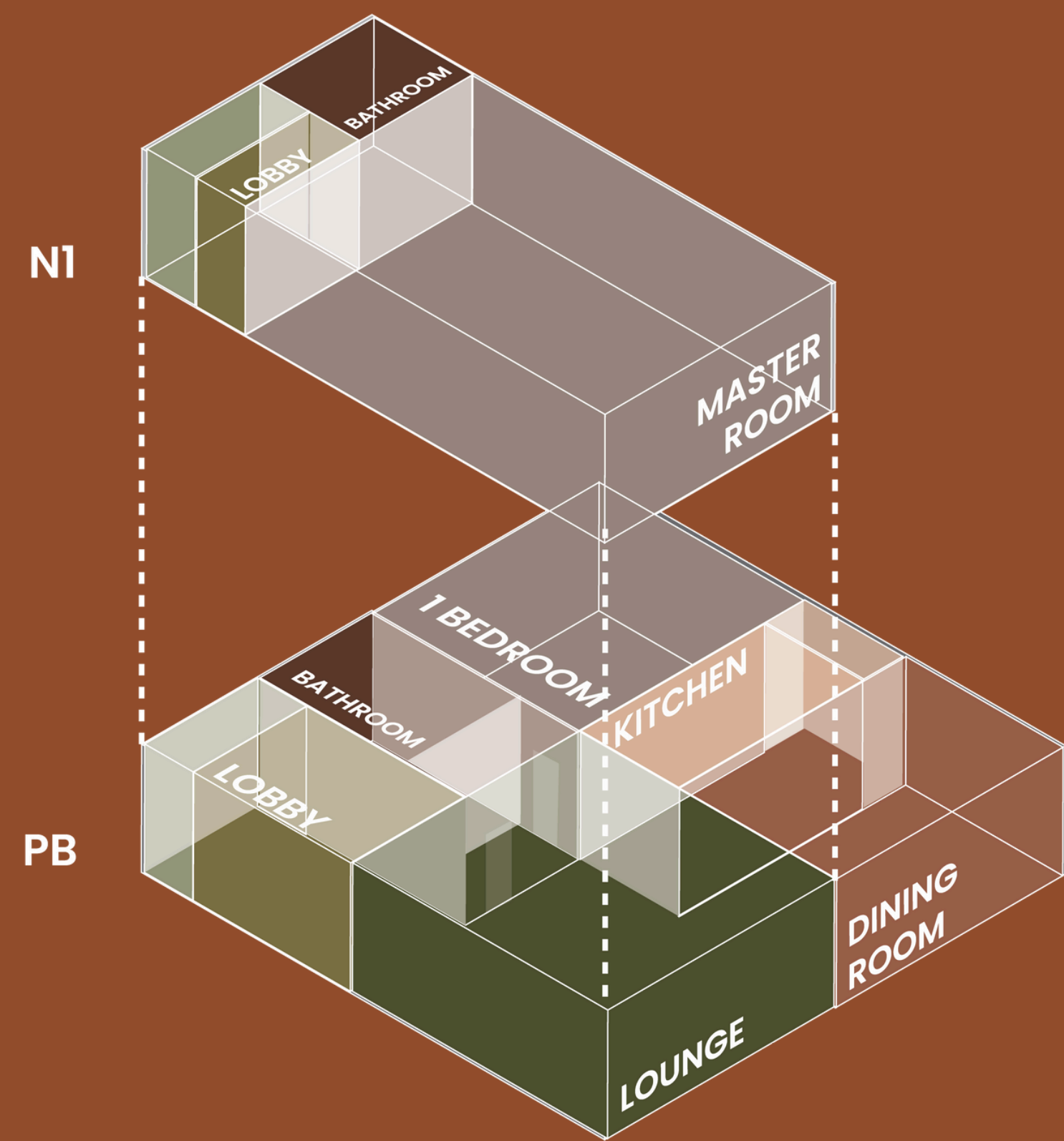


APARTMENT TYPE A

ISOMETRIC

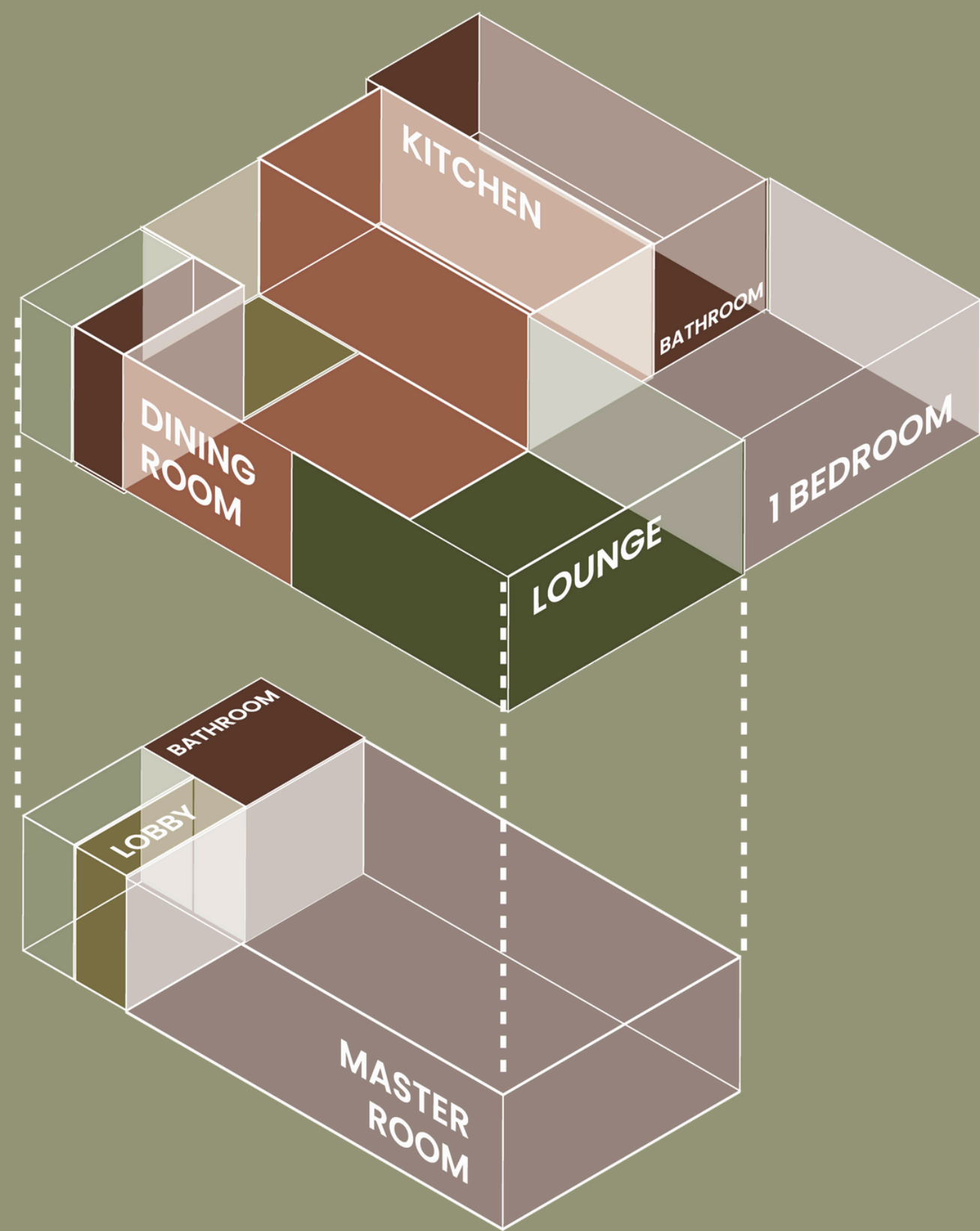
ARCHITECTURAL BRIEF

-  1 Master Bedroom
-  2 Bathrooms w/ Dressing Room
-  1 Bedroom
-  1 Cloakroom
-  1 Living Room
-  1 Dining Room
-  1 Lobby
-  1 Kitchen
-  1 Service Room



TOTAL
120 m2
100 m2 int + 20 m2 terrace

APARTMENT TYPE B
ISOMETRIC

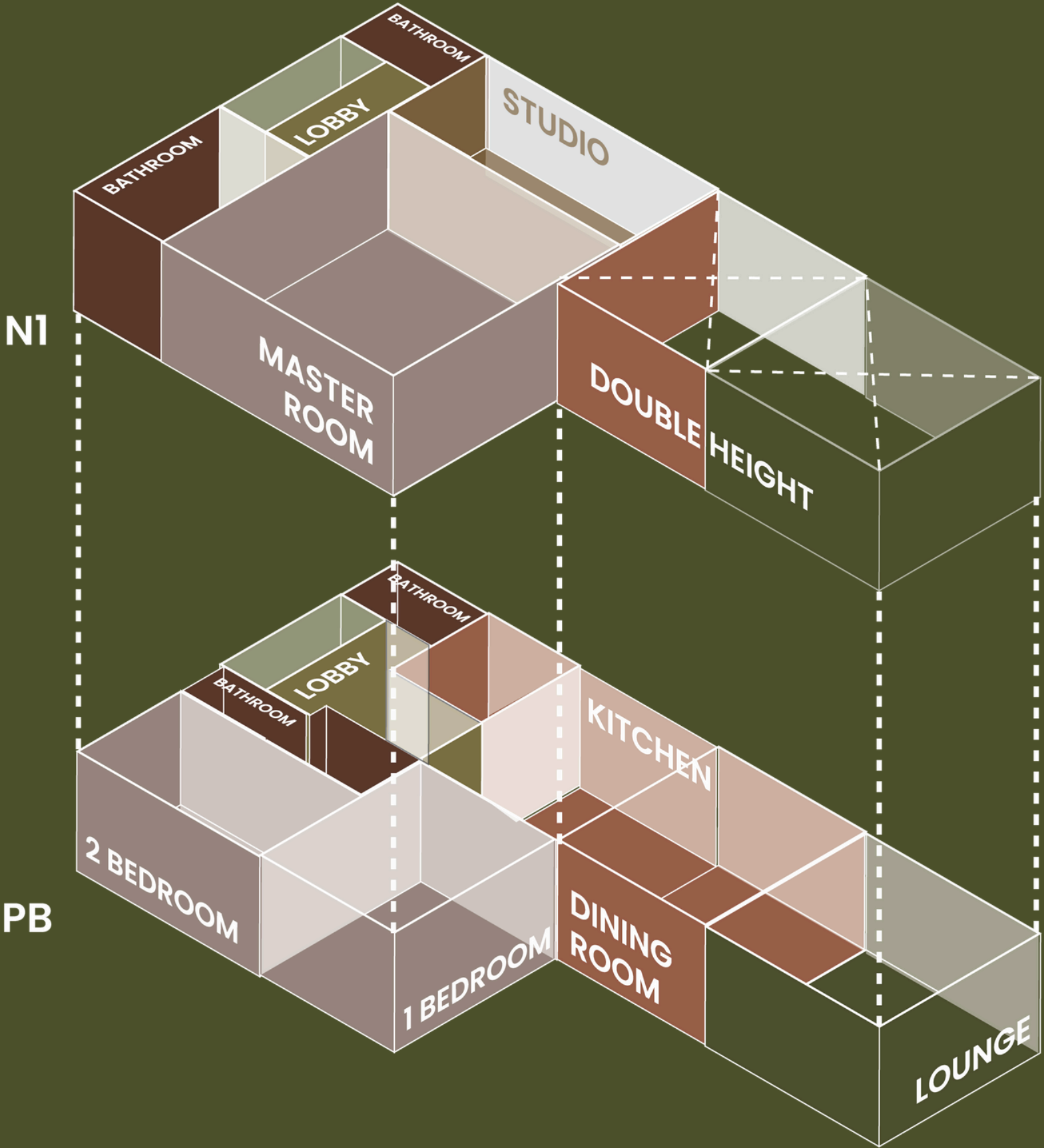


TOTAL
120 m2
100 m2 int + 20 m2 terrace

ARCHITECTURAL BRIEF

-  1 Master Bedroom
-  2 Bathrooms w/ Dressing Room
-  1 Bedroom
-  1 Cloakroom
-  1 Living Room
-  1 Dining Room
-  1 Lobby
-  1 Kitchen
-  1 Service Room

CIELO PENTHOUSE TYPE A
ISOMETRIC



ARCHITECTURAL BRIEF



1 Master Bedroom



3 Bathrooms w/ Dressing Room



2 Bedroom



1 Cloakroom



1 Living Room



1 Dining Room



1 Lobby



1 Kitchen



1 Service Room



1 Studio

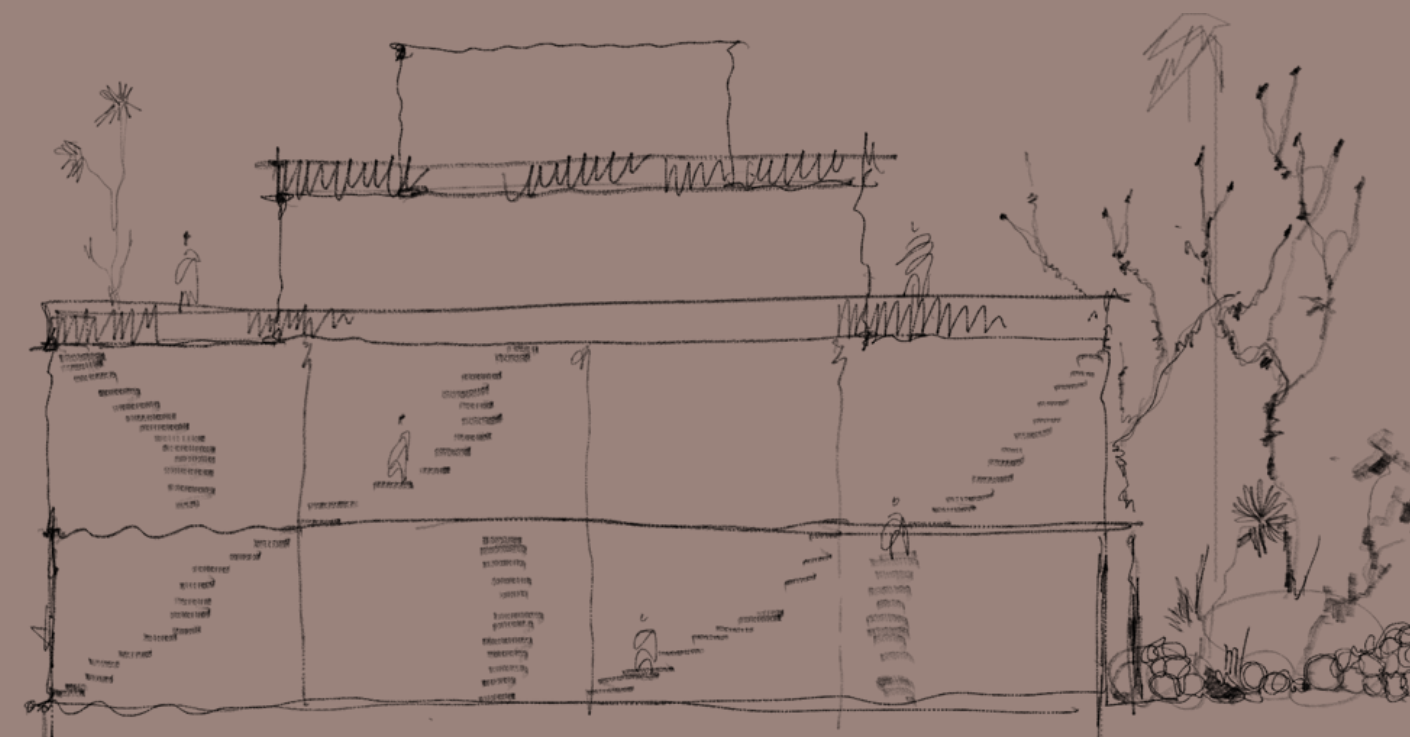


terraces



courtyard

LOOK AND FEEL Apartments



LOOK AND FEEL

Apartments



facade



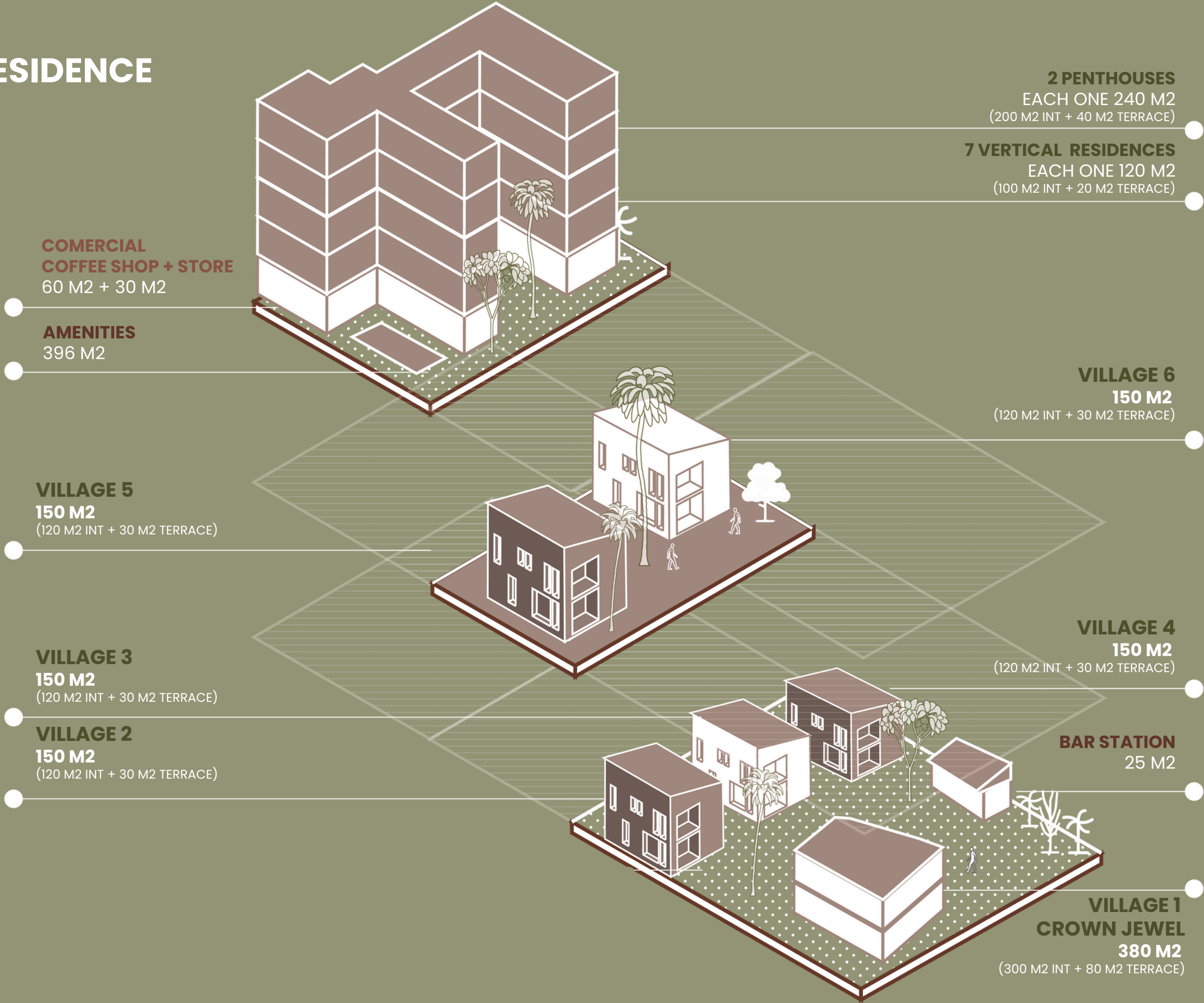
terraces



LOOK AND FEEL Apartments

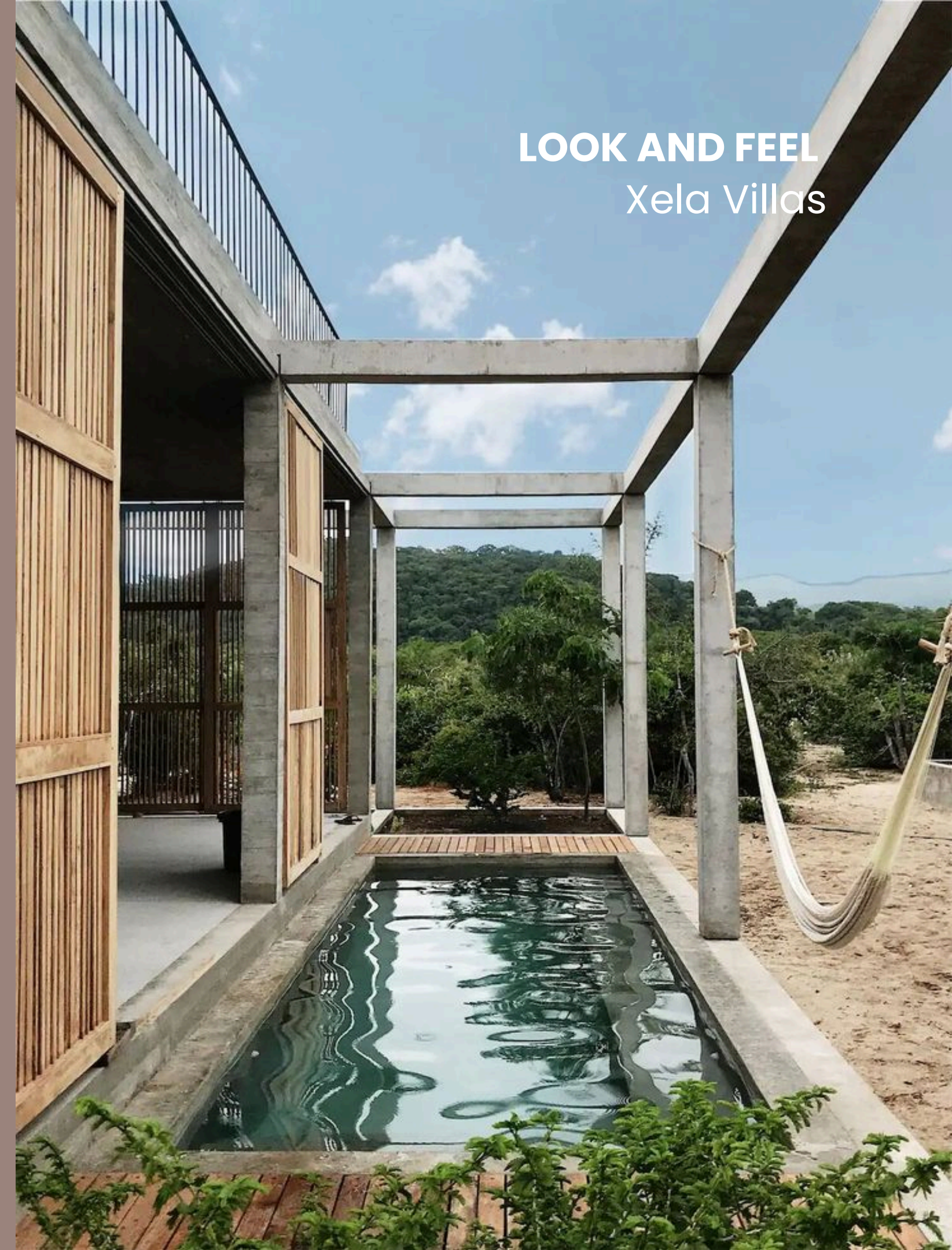
facade

VILLAGE + RESIDENCE
ISOMETRIC





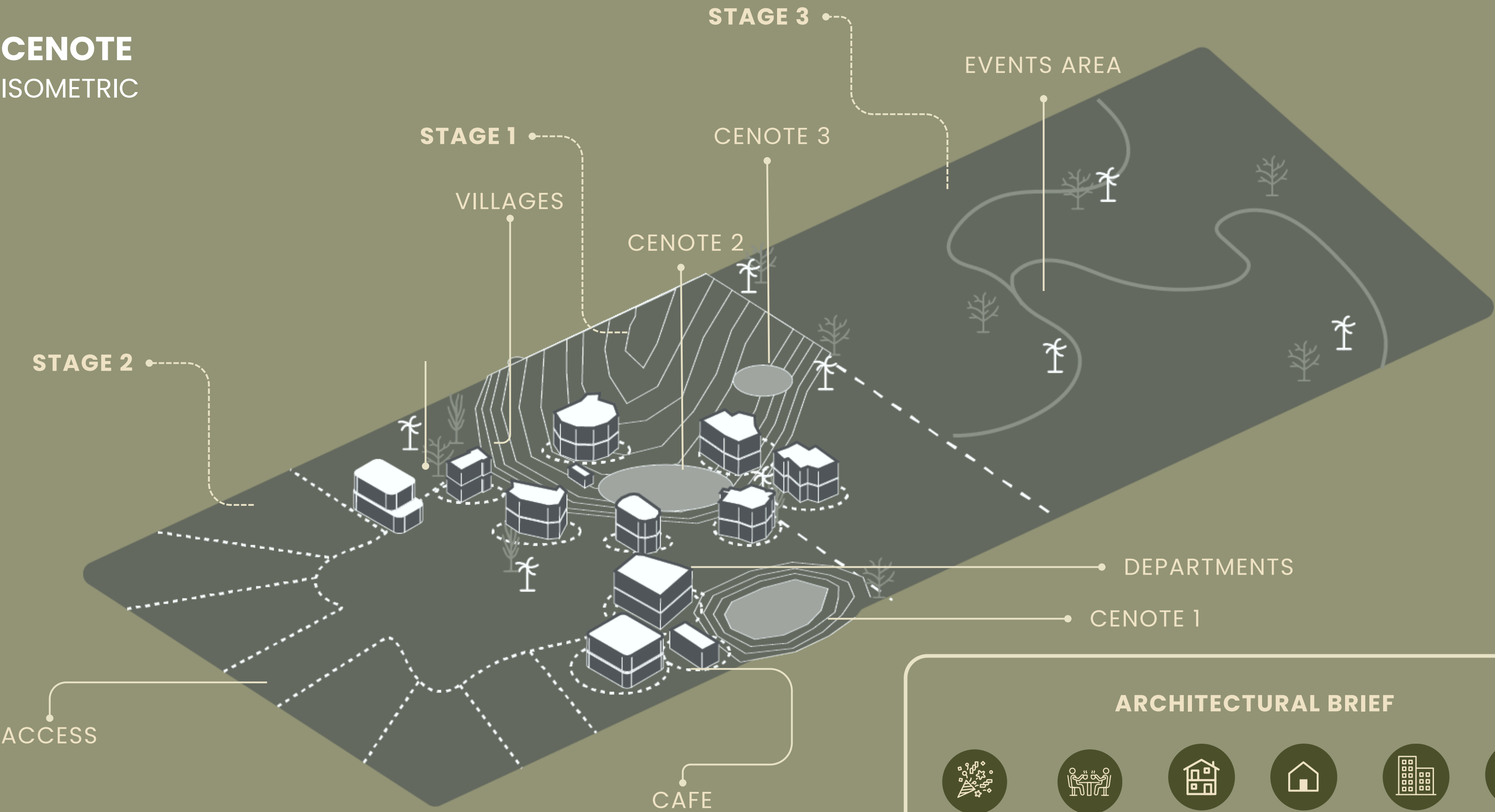
LOOK AND FEEL
Xela Villas



LOOK AND FEEL
Xela Villas

XELA
CENOTE

CENOTE
ISOMETRIC



ARCHITECTURAL BRIEF



EVENTS



CAFE



4
DUPLEX



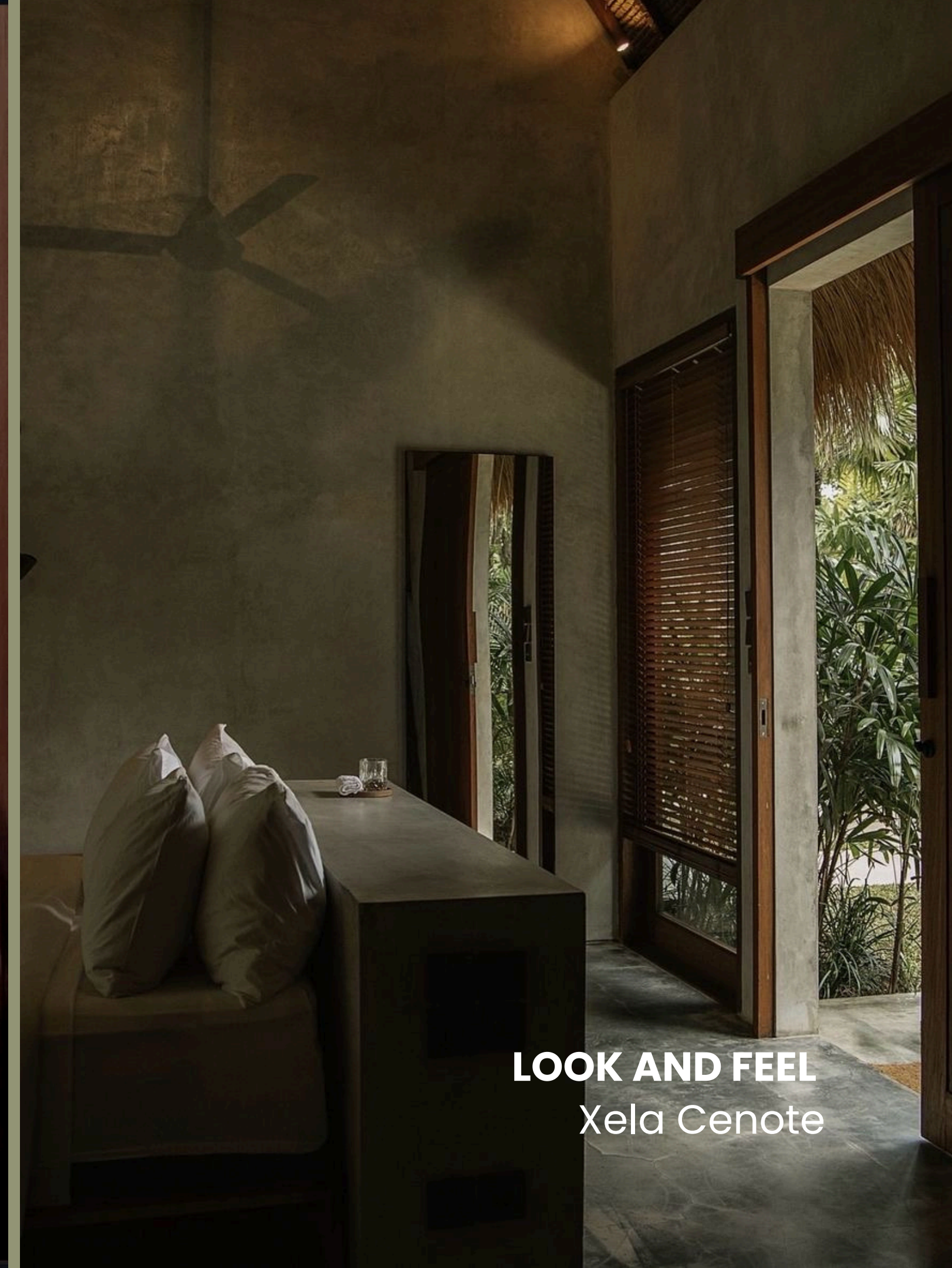
4
VILLAS



7
APARTMENTS



3
ROOFTOP



LOOK AND FEEL
Xela Cenote



LOOK AND FEEL
Xela Cenote



LOOK AND FEEL
Xela Cenote



LOOK AND FEEL
Xela Cenote



XELA

CENOTE





AREAS AND PROPOSALS

XELA

PLAYA

STAGE 1 & 2

VILLAGES

Village 1 (Crown Jewel)			Village 2			Village 3		
Apartment	300.0	m2	Apartment	120.0	m2	Village	120.0	m2
Terrace	80.0	m2	Terrace	30.0	m2	Terrace	30.0	m2
Roof Top Garden	0.0	m2	Rooftop Garden	0.0	m2	Rooftop Garden	0.0	m2
Village 4			Village 5			Village 6		
Village	120.0	m2	Village	120.0	m2	Village	120.0	m2
Terrace	30.0	m2	Terrace	30.0	m2	Terrace	30.0	m2
Roof Top Garden	0.0	m2	Roof Top Garden	0.0	m2	Roof Top Garden	0.0	m2

STAGE 3

APARTMENT BUILDING

Apartments			Penthouse Cielo 1		
Apartment 1	120	m2	Residence	200.0	m2
Apartment 2	120	m2	Terrace	40.0	m2
Apartment 3	120	m2	Roofgarden	0.0	m2
Apartment 4	120	m2	Penthouse Cielo 2		
Apartment 5	120	m2	Residence	200.0	m2
Apartment 6	120	m2	Terrace	40.0	m2
Apartment 7	120	m2	Roofgarden	0.0	m2

SOCIAL

Commercial		
Cafe	60	m2
Stores	30	m2
Facilities		
Amenities (Ground Floor)	418	m2

AREAS

	%	Area	
Green Areas	60%	1,440	m2
Residential Area	40%	2,200	m2









Land to Develop Stage 1	15%	1,042	m2
-------------------------	-----	-------	----

Land to Develop Stage 2	35%	1,801	m2
-------------------------	-----	-------	----

SUMMARY OF THE FINANCIAL EVALUATION



EXPENSES + COSTS

 LAND \$5,853,658.54 USD \$120,000,000.00 MxN	 LICENSE AND PERMITS \$688,080.00 USD \$14,105,640.00 MxN
 ENGINEERING AND DESIGN \$275,232.00 USD \$5,642,256.00 MxN	 LEGAL & PHYSICAL \$458,720.00 USD \$9,403,760.00 MxN
 CONSTRUCTION \$4,410,694.63 USD \$90,419,240.00 MxN	 ADMINISTRATION \$308,748.62 USD \$6,329,346.80 MxN
 PROMOTION AND ADVERTISING \$229,360.00 USD \$4,701,880.00 MxN	 BUSINESS SETUP \$0.00 USD \$0.00 MxN

\$12,224,493.80 USD

\$250,602,122.80 MxN

TOTAL COSTS + EXPENSES

SALES

Crown Jewel
\$4,500,000.00 USD
300m2
1 villages

Villas
\$1,750,000.00 USD
120 m2 to 150 m2
5 villages

Cielo Penthouses
\$2,250,000.00 USD
240 m2
2 Penthouses

Suites
\$900,000.00 USD
120 m2
7 Units

Commercial area
\$350,000.00 USD
60m2
1 Units

Sunset Lounge and Facilities

\$22,936,000.00 USD

\$470,188,000.00 MxN

TOTAL SALES

***With 6% Commision**

BUSINESS MODEL

LOCATED ON A PRIVILEGED BEACHFRONT LOT IN TULUM, THIS NEW PROJECT WILL UNFOLD IN THREE EXCLUSIVE PHASES THAT CELEBRATE LUXURY, NATURE, AND MODERN DESIGN.:

STAGE 1. INCLUDES THE RENOVATION OF A LUXURY VILLA IN THE BEST LOCATION OF THE PROPERTY, POSITIONED AS THE PROJECT'S FLAGSHIP RESIDENCE.

STAGE 2. WILL ADD FIVE RENOVATION VILLAS WITH MODERN DESIGN AND PREMIUM FINISHES.

STAGE 3. THREE WILL COMPLETE THE PROJECT WITH A RESIDENTIAL BUILDING FEATURING TWO PENTHOUSES, SEVEN LUXURY SUITES, AND A COMMERCIAL AREA.

THE ENTIRE DEVELOPMENT WILL BE SURROUNDED BY GREEN SPACES AND BEACHFRONT AMENITIES FOR LEISURE AND RELAXATION.

87.6%

ROI

46.7%

Net Margin



3 YEARS

\$10,711,506.20 USD

\$219,585,877.20 MxN

UTILITY

***Utilities before taxez**

AREAS AND PROPOSALS



STAGE 1

Apartament 1		
Apartment	100	m2
Terrace	10	m2
Roof Top Garden	15	m2
Apartamento 2		
Apartment	100	m2
Terrace	25	m2
Jardín en Azotea	0	m2
Village 3		
Village	100	m2
Terrace	15	m2
Jardín en Azotea	0	m2
Village 4		
Village	125	m2
Terrace	15	m2
Roof Top Garden	25	m2
Village 5		
Village	125	m2
Terrace	20	m2
Roof Top Garden	15	m2
Village 6		
Village	150	m2
Terrace	25	m2
Roof Top Garden	25	m2

Flat 1			
Departamento	100	m2	
Terraza	15	m2	
Roof Garden	10	m2	
Flat 2			
Departamento	100	m2	
Terraza	25	m2	
Roof Garden	0	m2	
Villa 3			
Villa	100	m2	
Terraza	15	m2	
Roof Graden	20	m2	
Villa 4			
Villa	125	m2	
Terraza	15	m2	
Roof Graden	25	m2	
Villa 5			
Villa	125	m2	
Terraza	20	m2	
Roof Graden	15	m2	
Comercial			
Cafe	100	m2	
Amenities			
Amenities (Ground Floor)	363.00	m2	

Villa 6		
Villa	150	m2
Terraza	25	m2
Roof Graden	25	m2
Duplex 7A & 7B		
Duplex	250	m2
Terraza	40	m2
Roof Graden	40	m2
Duplex 8A & 8B		
Duplex	250	m2
Terraza	40	m2
Roof Graden	40	m2
Flat 9A, 9B & 9C		
Departamentos	200	m2
Terraza 9A, 9B & 9C	30	m2
Roof Garden 9B (20m2) & 9C (40m2)	60	m2
Flat 10A & 10B		
Duplex	200	m2
Terraza 10A	10	m2
Roof Graden 10B	40	m2

	LOTES	TIPO DE TERRENO
UNIDADES	3	1,000 m2

	%	Area	
Áreas Verdes	20%	1,488	m2
Superficie Residencial	65%	4,836	m2
Circulación	15%	1,116	m2

Land to Develop Stage 1	15%	3,189	m2
-------------------------	-----	-------	----

Land to Develop Stage 2	35%	7,000	m2
-------------------------	-----	-------	----

Land to Develop Stage 3	50%	10,629	m2
-------------------------	-----	--------	----

SUMMARY OF THE FINANCIAL EVALUATION



COSTS + EXPENSES

 <div>LAND</div> <div>\$1,463,414.63 USD</div> <div>\$30,000,000.00 MxN</div>	 <div>LICENSE AND PERMITS</div> <div>\$486,875.00 USD</div> <div>\$9,980,937.50 MxN</div>
 <div>ENGINEERING AND DESIGN</div> <div>\$292,125.00 USD</div> <div>\$5,988,562.50 MxN</div>	 <div>LEGAL & PHYSICAL</div> <div>\$97,375.00 USD</div> <div>\$1,996,187.50 MxN</div>
 <div>CONSTRUCTION</div> <div>\$4,199,380.76 USD</div> <div>\$86,087,305.54 MxN</div>	 <div>ADMINISTRATION</div> <div>\$293,956.65 USD</div> <div>\$6,026,111.39 MxN</div>
 <div>PROMOTION AND ADVERTISING</div> <div>\$97,375.00 USD</div> <div>\$1,996,187.50 MxN</div>	 <div>BUSINESS SETUP</div> <div>\$0.00 USD</div> <div>\$0.00 MxN</div>

\$6,930,502.05 USD

\$142,075,291.93 MxN

TOTAL COSTS + EXPENSES

SALES

STAGE 1
\$8,000,000.00 USD
2,360 m2
4 villages
7 apartments
4 duplex
Comerciales Area, Sunset Bar and Facilities
STAGE 2
\$1,500,000.00 USD
1,000m2
3 Lots
STAGE 3
\$750,000.00 USD
3,000m2
Area of Events

\$9,737,500.00 USD

\$199,618,750.00 MxN

TOTAL SALES
*With 6% Commision

BUSINESS MODEL

THE PROJECT IS PART OF A SERIES OF DEVELOPMENTS ON THE RIVIERA MAYA, IT IS PRESENTED IN A LAND THAT IS AT THE BEACH SHORE IN THREE STAGES:

STAGE 1. CONSTRUCTION OF THE FIRST RESIDENTIAL AREA NEARBY THE CENOTES, WHERE THERE WILL BE 4 VILLAGES, 4 DUPLEX, AND 7 APARTMENTS .

STAGE 2. THE PROOJECT OF THE RESIDENTIAL SUBDIVISION IN TULUM IN ASSOCIATION WITH THE PROJECT “XELA PLAYA” HAS A SURFACE OF 7,440 M². THE PROJECT INCLUDES 6 LOTS OF 800 M² EACH, WITH ACCEST TO THE CENOTE’S CLUB, A HOLISTIC AREA AND THE XELA BEACH CLUB.

STAGE 3. DEVELOPMENT OF AN AREA FOR EVENTS.

40.5%

ROI

28.8%

Net Margin



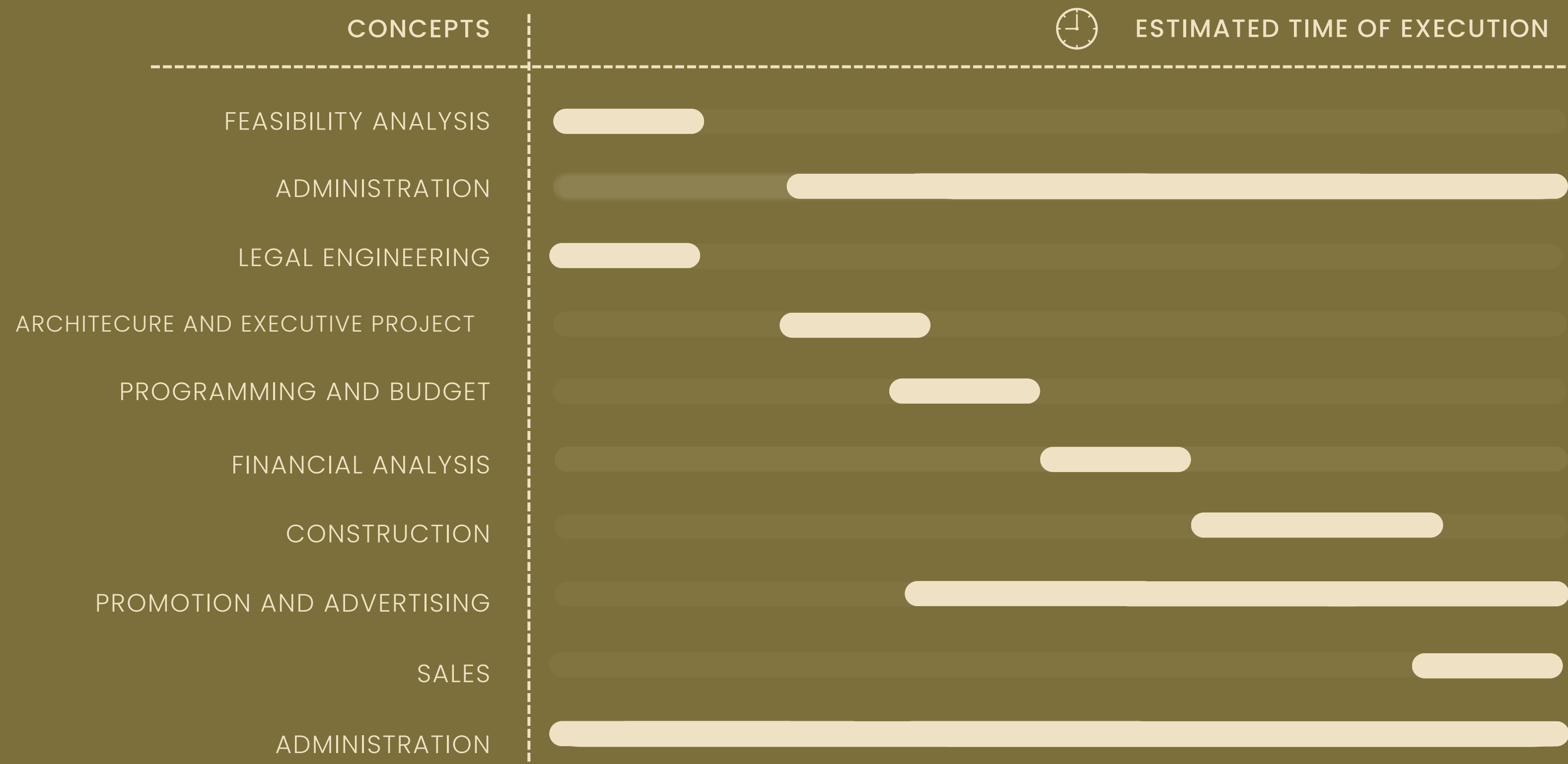
3 YEARS

\$2,806,997.95 USD

\$57,543,458.07 MxN

UTILITY
*Utilities before taxez

PROCESS OF REAL ESTATE DEVELOPMENT



Thank You!

Project done by: 

bacap.mx